

- Electrical Legend:**
- Pendant with dedicated energy saving bulb
 - LED bulkhead light fitting
 - Wall mounted luminaire with energy saving bulb
 - LED floor fitting energy saving
 - Recessed energy saver spot light fitting Fire hood over
 - Wall mounted luminaire with LED light controlled by photocell
 - Light switch
 - Two-way light switch
 - Pull cord light switch
 - Single 13A socket at low level 400mm above FFL
 - Double 13A socket at low level 400mm above FFL
 - Single 13A socket at high level 150mm above worktop
 - Double 13A socket at high level 150mm above worktop
 - Double 13A socket with USB connections at low level 400mm above FFL
 - Double 13A socket with USB connections at high level 150mm above worktop
 - 13 amp socket at low level with high level switch & LED
 - 1 amp 2 gang shaver socket
 - Cooker hood with recirculating extract fan with replaceable filters
 - Telephone outlet
 - TV outlet
 - Multimedia outlet point comprising 2no. double sockets, TV, Sat, FM, Data outlets
 - Shaver socket
 - Switched spur point at high level 150mm above worktop
 - Switched spur point at low level 400mm above FFL
 - Cooker control unit
 - Wireless door bell push and sounder
 - Consumer Unit / Smart meter equipment
 - Mains wired heat detector with battery back up min 300mm from walls and light fittings
 - Mains wired smoke detector with battery back up min 300mm from walls and light fittings and interconnected to existing smoke alarm
 - Mains wired carbon monoxide detector with battery back up min 300mm from walls and between 1 - 3m of appliance
 - Mains wired carbon dioxide detector with battery back-up and wall mounted monitor. Detector to be positioned 300mm from walls and light fittings
- 100% light fittings are to be of low energy

Electrical
Include for all isolation / fused connections for electrical equipment detailed.
All electrical work to be carried out in accordance with the current I.E.E Regulations.
All Electrical Work will be carried out by a competent electrical contractor. The installation and testing will be completed in strict accordance with BS 7671:2018 (IEE Wiring regulations 18th edition) incorporating all amendments and in compliance with other Building Regulations, and in particular will not compromise fire stopping, structural integrity, sound insulation, thermal insulation and other related matters.

Light switches should be positioned at a height of between 900mm and 1100mm above floor level.

Outlets and controls of electrical fixtures and systems should be positioned at least 350 mm from any internal corner, projecting wall or similar obstruction and, unless the need for a higher location can be demonstrated, not more than 1.2 m above floor level. This would include fixtures such as sockets, switches, fire alarm call points and timer controls or programmers.

Standard switched or un-switched socket outlets and outlets for other services such as telephone or television should be positioned at least 400mm above floor level. Above an obstruction, such as a worktop, fixtures should be at least 150 mm above the projecting surface. Fittings to be selected by Client.

AFSS
Automatic fire suppression system (AFSS) to be designed and installed in full accordance with Technical Standard 2.15.

AFSS provision not currently indicated on working drawings and designs to be carried out by specialist contractor.

Revisions		Date	Initials
A	Service cavity added to all party walls and note added regarding AFSS.	06.07.21	RK
B	Kitchen / Utility pass door moved 200mm towards rear. Wall mounted letter boxes added.	15.07.21	RK
C	Front and rear external door styles amended. Legend updated to show partition linings.	12.08.21	RK
D	Electrical legend updated. Multimedia point added, smoke detector added to Utility and Lounge. Shaver point added to Bathroom, spur point added to serve ASHP and HW cylinder. Solar PV array added to elevations.	01.11.21	RK
E	Quantity of USB double sockets amended.	10.05.22	RK

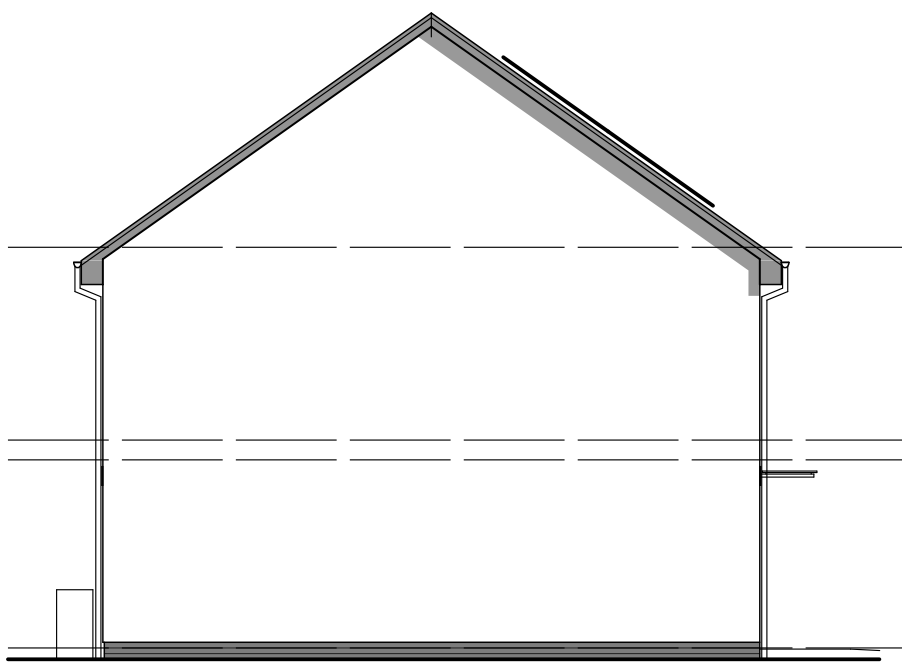
Project			
Proposed Residential Development at Station Road, Dalbeattie for Loreburn Housing Association Ltd.			
Drawing Title			
House Type A2 4 person / 2 bed general needs house			
ROBERT POTTER & PARTNERS CHARTERED ARCHITECTS & PROJECT MANAGERS			
7 MILLER ROAD, AYR 49 NEWALL TERRACE, DUMFRIES 110 WEST GEORGE ST. GLASGOW 2 KINGDOM STREET, LONDON		KA7 2AX DG1 1LN G2 1JL W2 6BD	
01292 - 261228 01387 - 255509 0141 - 232 9111 0203 - 4795931			
Scale	1:50 / 100 @ A1	9408/20	
Date	May 2021		
Drawn By	RK		
Checked By		Revision	E



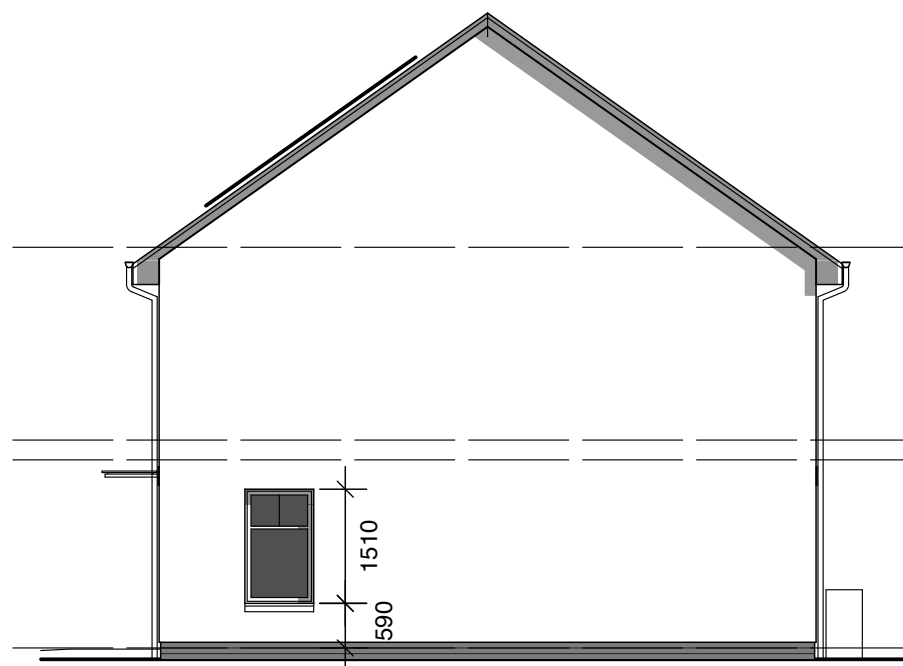
Front Elevation



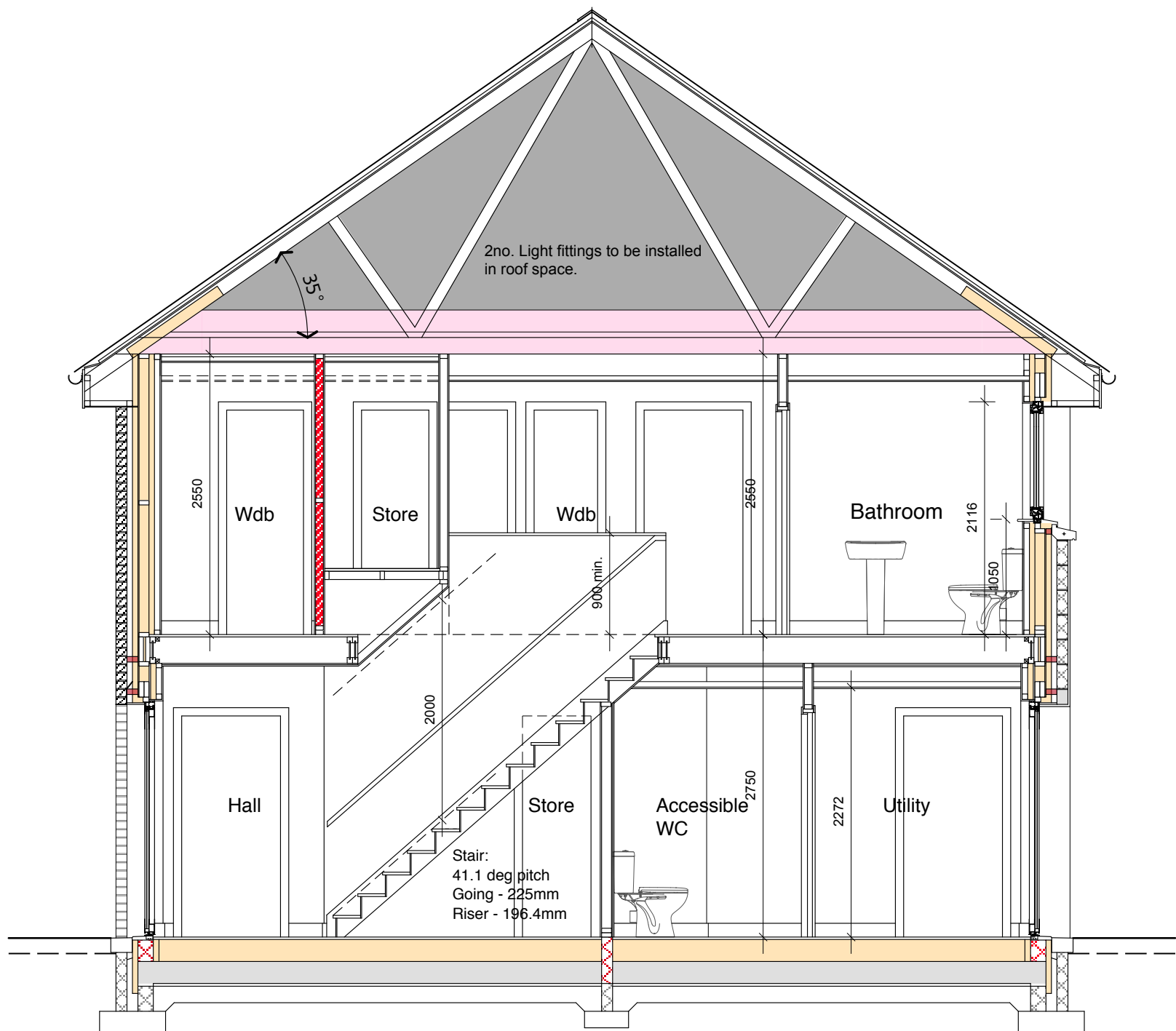
Rear Elevation



Side Elevation



Side Elevation



Section A-A

- 1 layer of 15mm Wallboard MR / Wallboard to each face of partition.
- Green line denotes 18mm plywood lining to studs / service void behind plasterboard to provide robust fixing.
- 1 layer of 15mm Wallboard MR / Wallboard to each face of easily demountable partition.
- 1 layer of 15mm Soundbloc to each face of partition to perimeter of apartments with sound reduction of 40dB Rw.
- 1 layer of 15mm Wallboard MR / Wallboard to exposed face of pipebox.

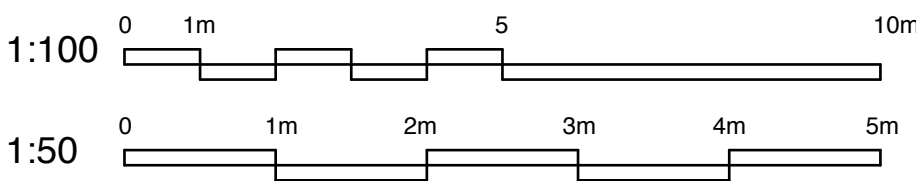
Refer to room layouts for locations of additional linings.

- MHVR supply ductwork within ceiling service void.
- MHVR extract ductwork within ceiling service void.
- Green fill denotes lowered ceilings containing MHVR ductwork. Depth of duct void to be determined.

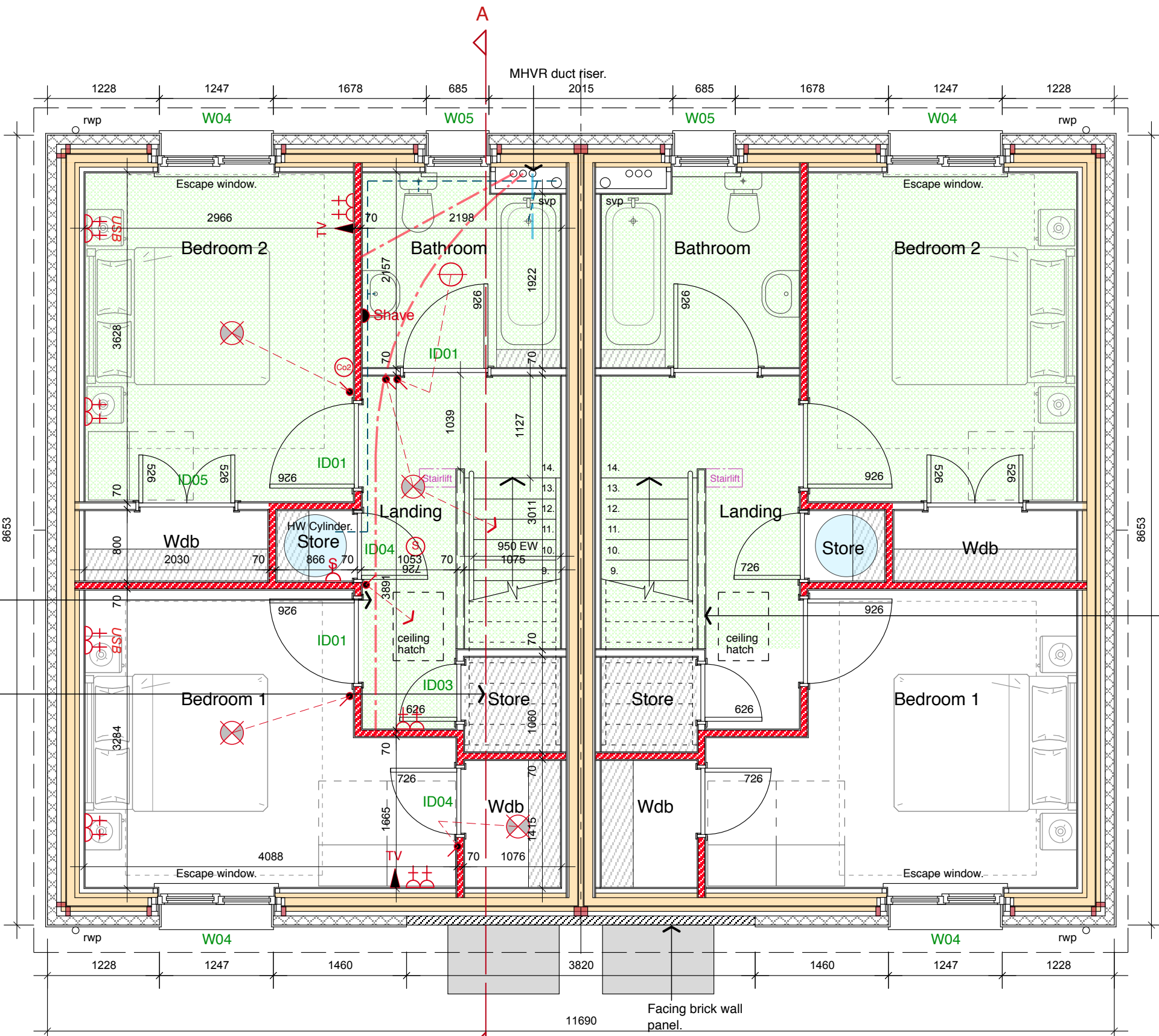
NOTE:
Door bell push to be wireless to limit number of penetrations through the air tightness envelope.

MHVR duct routes are indicative only.

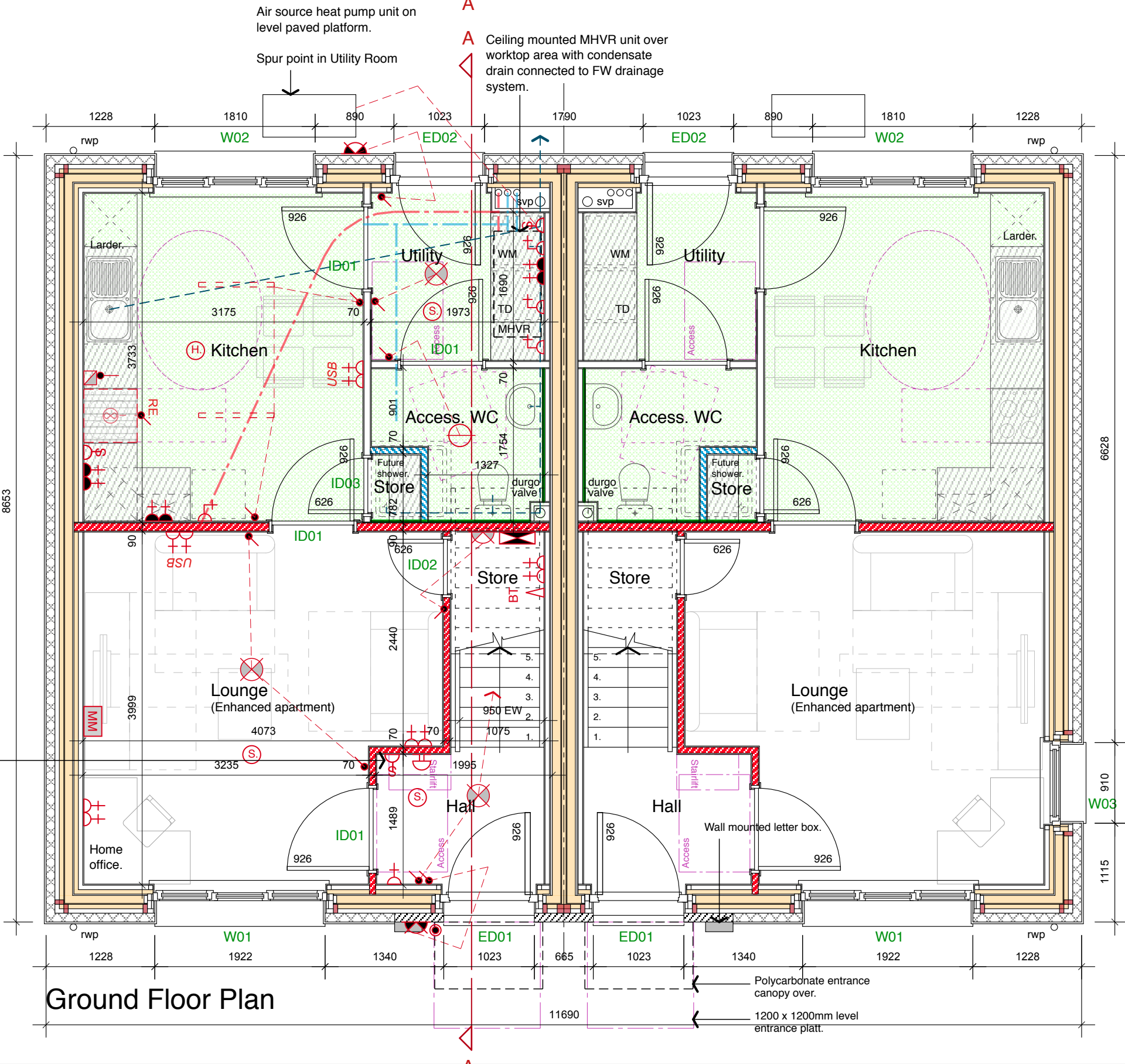
Doors between supply and extract zones to be undercut to create transfer air paths.



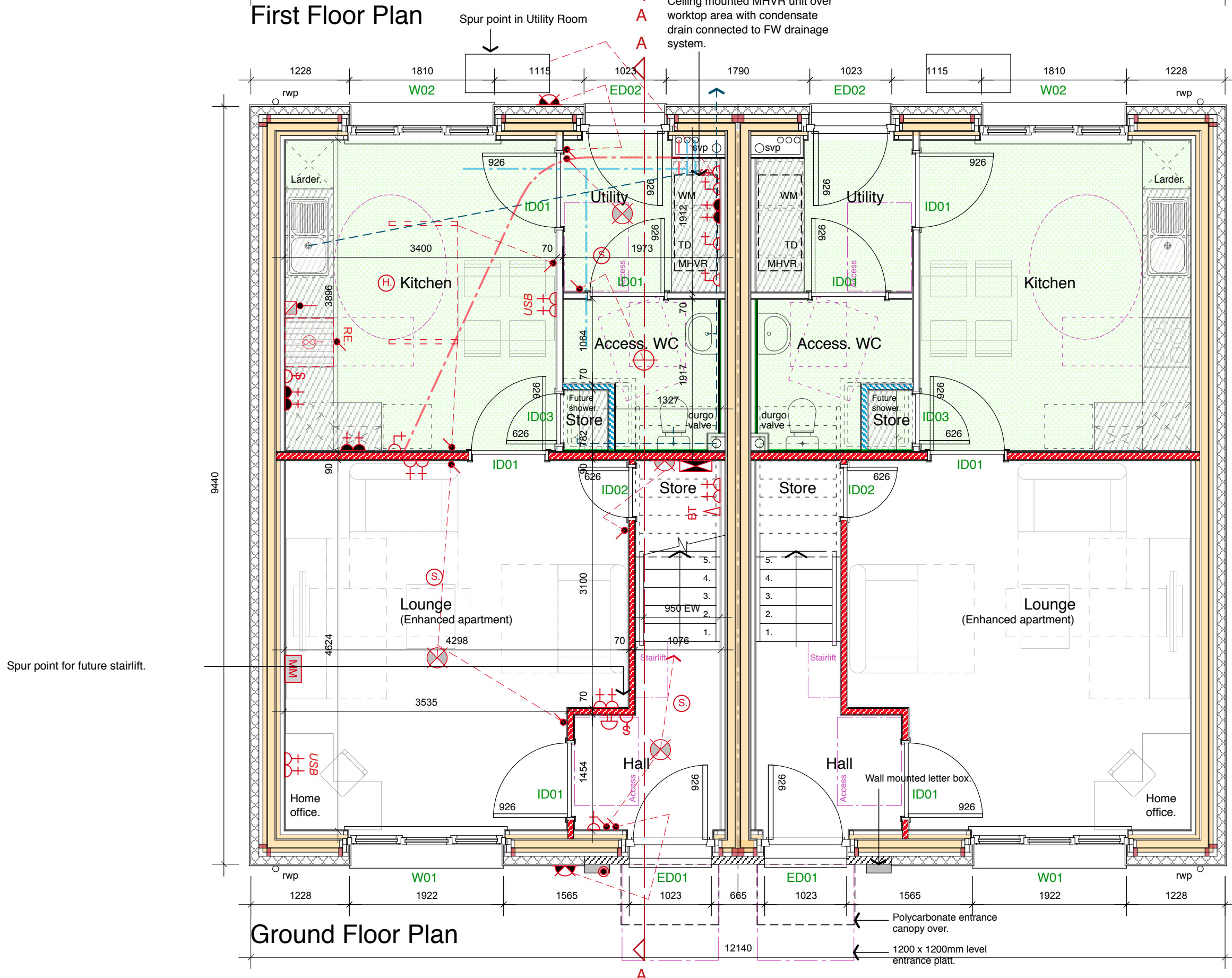
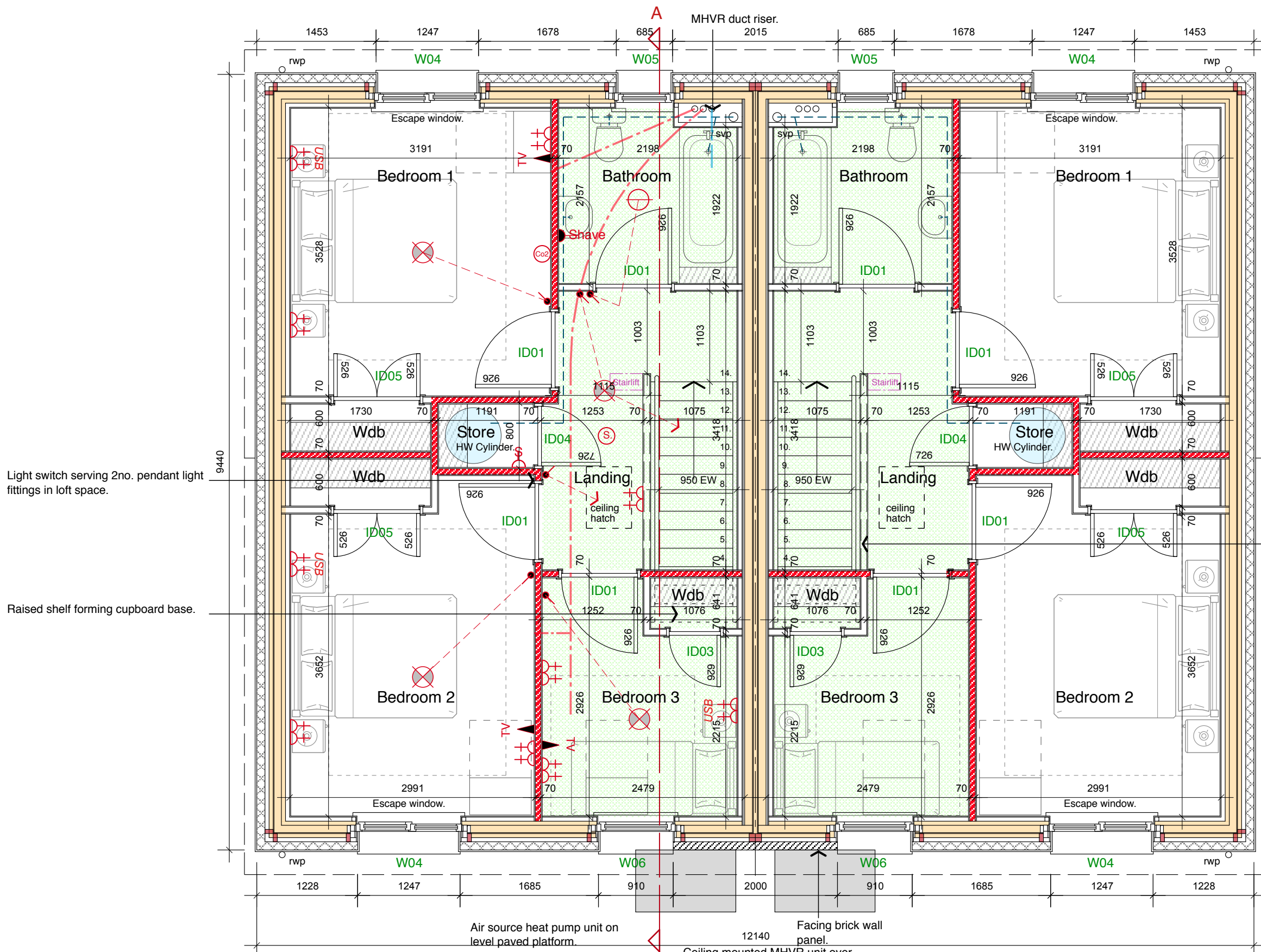
COPYRIGHT ROBERT POTTER & PARTNERS LLP 2021
Do not scale dimensions from this drawing - if in doubt ask. All dimensions, including figured dimensions, to be checked on site prior to commencing any works.
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First Floor Plan



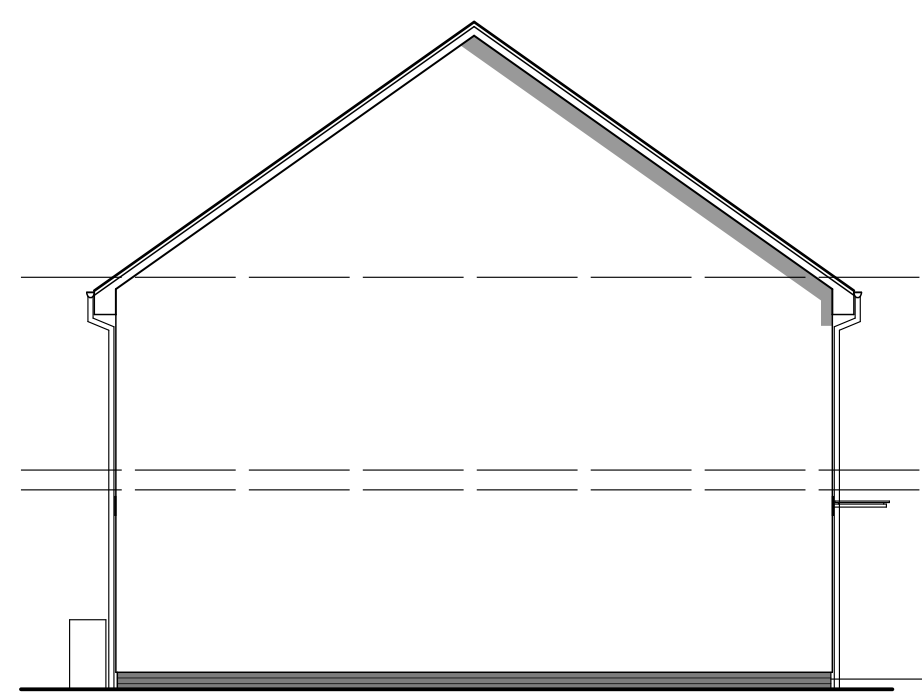
Ground Floor Plan



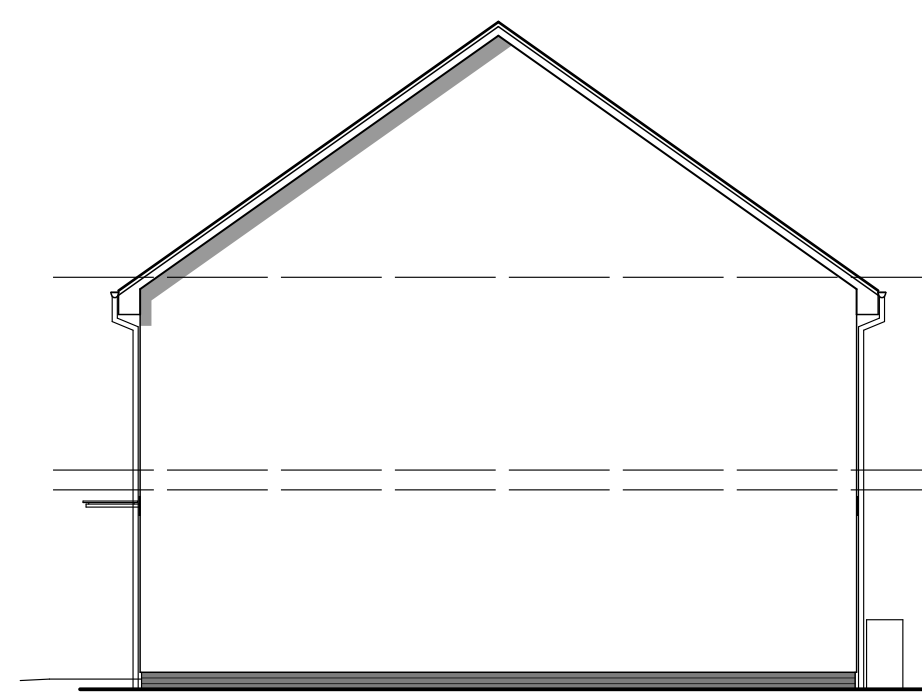
Front Elevation



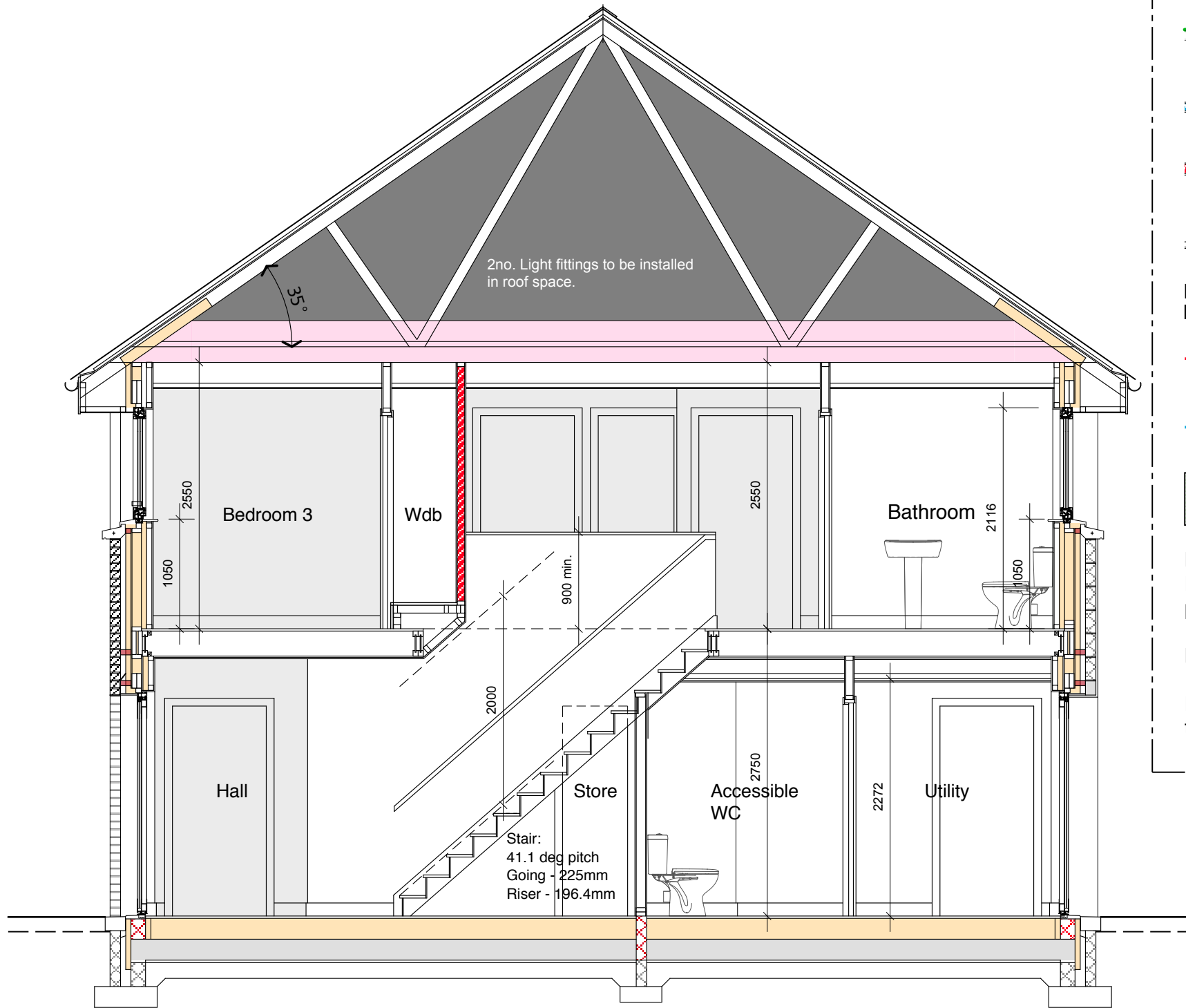
Rear Elevation



Side Elevation

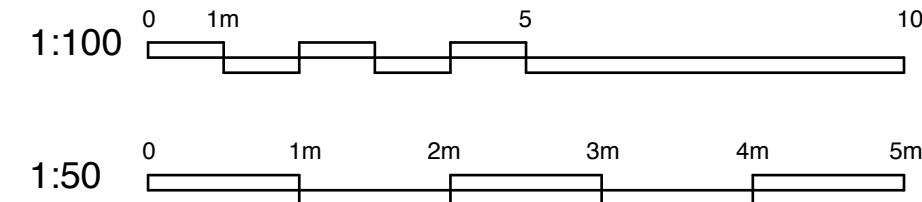


Side Elevation



Section A-A

- 1 layer of 15mm Wallboard MR / Wallboard to each face of partition.
 - Green line denotes 18mm plywood lining to studs / service void behind plasterboard to provide robust fixing.
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 - 1 layer of 15mm Soundbloc to each face of partition to perimeter of apartments with sound reduction of 40dB Rw.
 - 1 layer of 15mm Wallboard MR / Wallboard to exposed face of pipebox.
- Refer to room layouts for locations of additional linings.
- MHVR supply ductwork within ceiling service void.
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- Pendant with dedicated energy saving bulb
 - LED bulkhead light fitting
 - Wall mounted luminaire with energy saving bulb
 - LED floor fitting energy saving
 - Recessed energy saver spot light fitting Fire hood over
 - Wall mounted luminaire with LED light controlled by photocell
 - Light switch.
 - Two-way light switch.
 - Pull cord light switch
 - Single 13A socket at low level 400mm above FFL
 - Double 13A socket at low level 400mm above FFL
 - Single 13A socket at high level 150mm above worktop.
 - Double 13A socket at high level 150mm above worktop.
 - Double 13A socket with USB connections at low level 400mm above FFL
 - Double 13A socket with USB connections at high level 150mm above worktop.
 - 13 amp socket at low level with high level switch & LED
 - 1 amp 2 gang shaver socket
 - Cooker hood with recirculating extract fan with replaceable filters.
 - Telephone outlet
 - TV outlet
 - Multimedia outlet point comprising 2no. double sockets, TV, Sat, FM, Data outlets
 - Shaver socket
 - Switched spur point at high level 150mm above worktop.
 - Switched spur point at low level 400mm above FFL
 - Cooker control unit.
 - Wireless door bell push and sounder.
 - Consumer Unit / Smart meter equipment
 - Mains wired heat detector with battery back up min 300mm from walls and light fittings.
 - Mains wired smoke detector with battery back up min 300mm from walls and light fittings and interconnected to existing smoke alarm.
 - Mains wired carbon monoxide detector with battery back up min 300mm from walls and between 1 - 3m of appliance.
 - Mains wired carbon dioxide detector with battery back-up and wall mounted monitor. Detector to be positioned 300mm from walls and light fittings.

100% light fittings are to be of low energy

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Revisions		Date	Initials
A	Service cavity added to all party walls and note added regarding AFSS.	06.07.21	RK
B	Kitchen / Utility pass door moved 200mm towards rear. Wall mounted letter boxes added.	16.07.21	RK
C	Front and rear door styles amended. Legend updated to show partition linings.	12.08.21	RK
D	Electrical legend updated. Multimedia point added, smoke detector added to Utility and Lounge, Shaver point added to Bathroom, spur point added to serve ASHP and HW cylinder. Solar PV array added to elevations.	01.11.21	RK
E	Quantity of USB double sockets amended.	10.05.22	RK
F	Quantity of USB double sockets to Bedroom 3 amended.	11.05.22	RK

Project

Proposed Residential Development at Station Road, Dalbeattie for Loreburn Housing Association Ltd.

Drawing Title

House Type B2
5 person / 3 bed general needs house

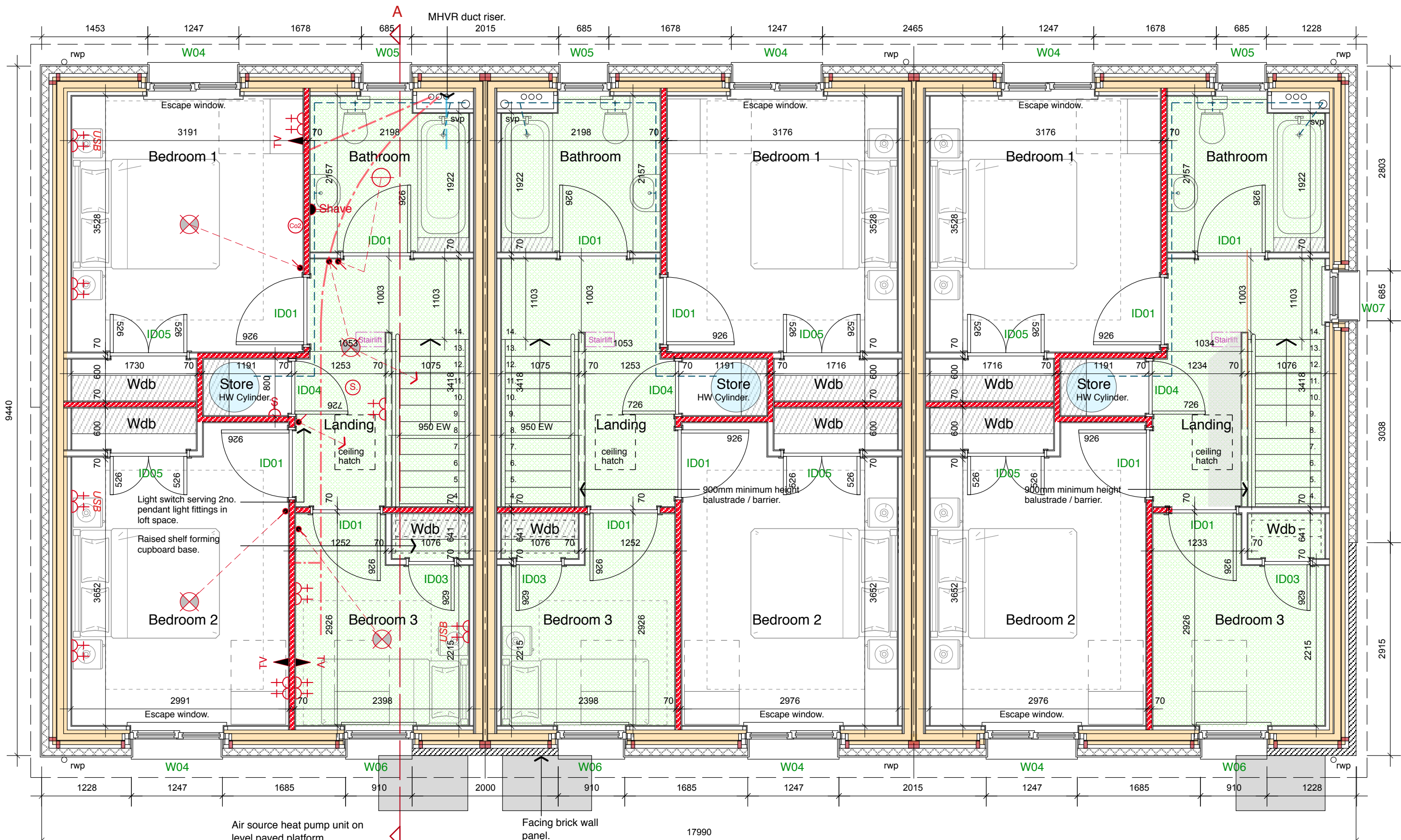
ROBERT POTTER & PARTNERS
CHARTERED ARCHITECTS & PROJECT MANAGERS

7 MILLER ROAD, AYR
49 NEWALL TERRACE, DUMFRIES
110 WEST GEORGE ST. GLASGOW
2 KINGDOM STREET, LONDON

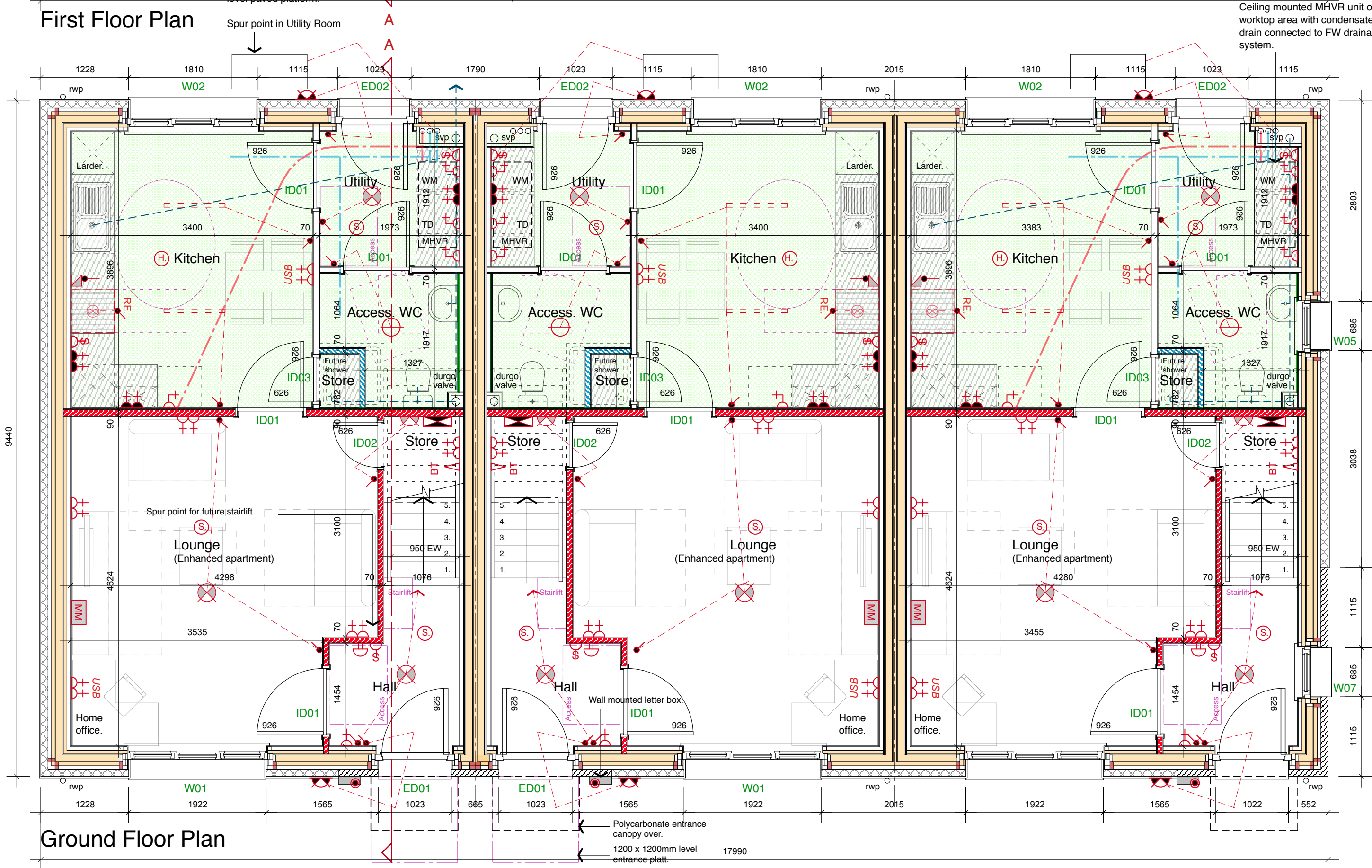
KA7 2AX
DG1 1LN
G2 1JL
W2 6BD

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01387 - 255509
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0203 - 4795931

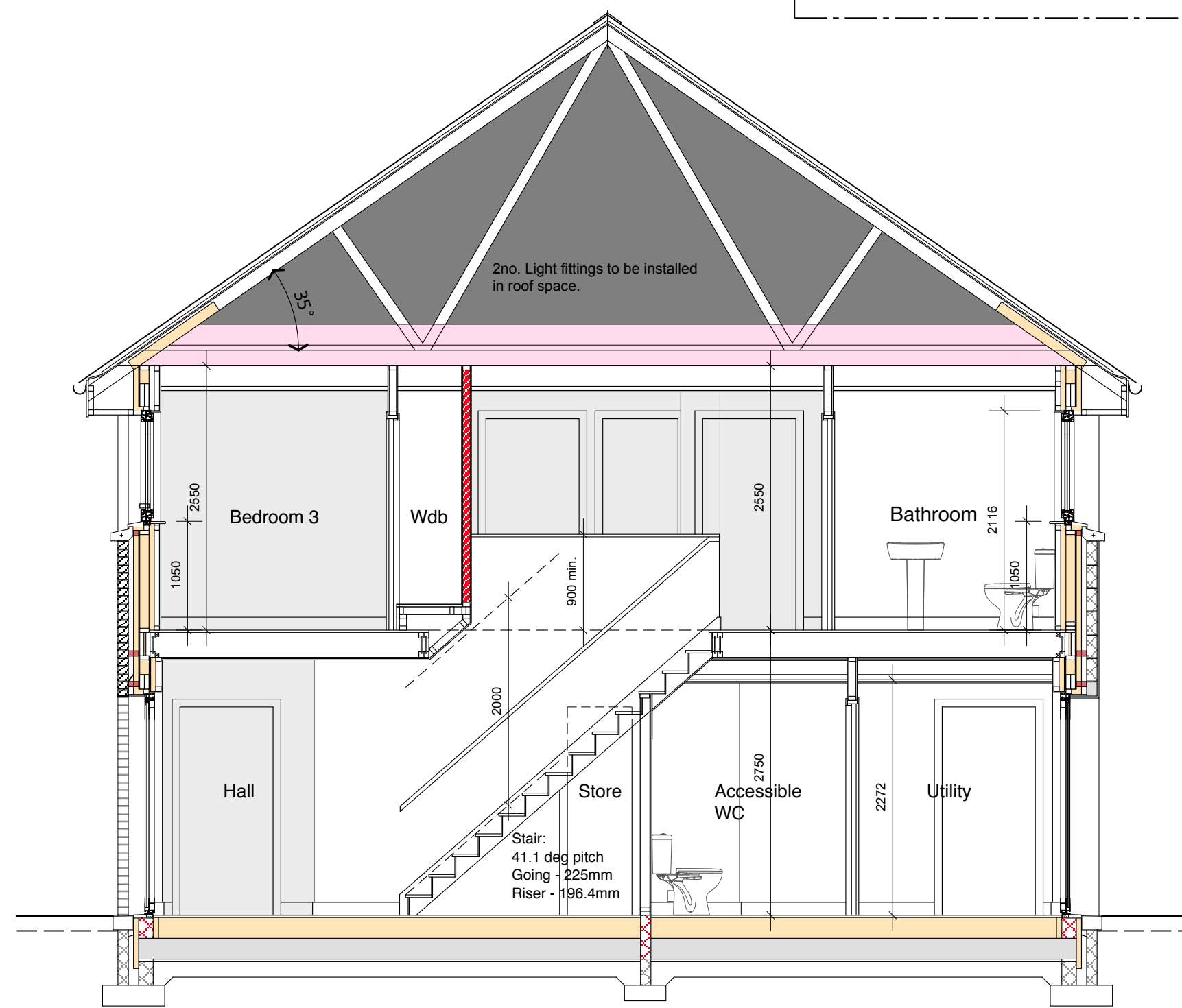
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Date	May 2021		
Drawn By	RK		
Checked By		Revision	F



First Floor Plan



Ground Floor Plan



Section A-A

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- Wall mounted luminaire with energy saving bulb
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- Double 13A socket at low level 400mm above FFL
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- Mains wired carbon dioxide detector with battery back-up and wall mounted monitor. Detector to be positioned 300mm from walls and light fittings

100% light fittings are to be of low energy

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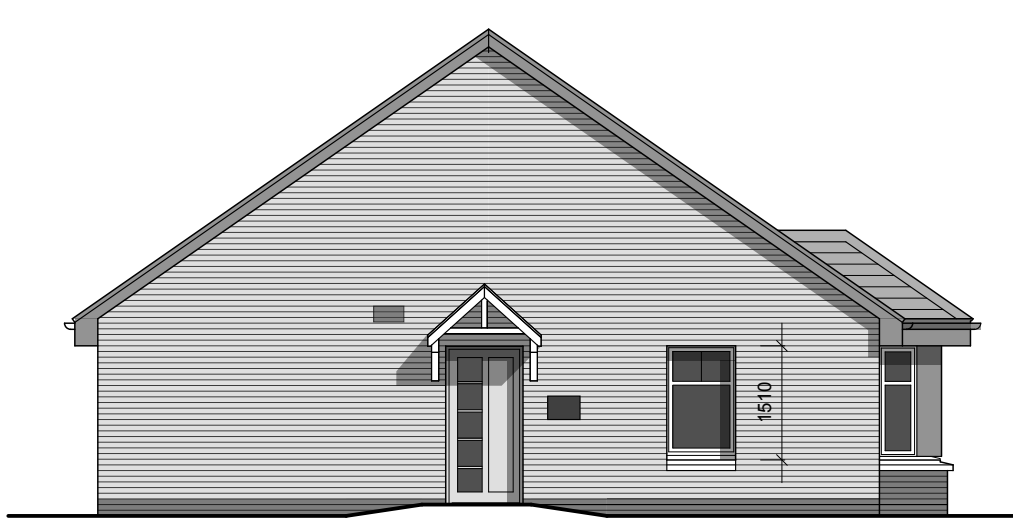
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Revisions		Date	Initials
A	Service cavity added to all party walls and note added regarding AFSS.	06.07.21	RK
B	Kitchen / Utility pass door moved 200mm towards rear. Wall mounted letter boxes added.	16.07.21	RK
C	Legend updated to include partition linings.	17.08.21	RK
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F	Quantity of USB double sockets to Bedroom 3 amended.	11.05.22	RK

Project			
Proposed Residential Development at Station Road, Dalbeattie for Loreburn Housing Association Ltd.			
Drawing Title			
House Type B2 - Terrace 5 person / 3 bed general needs house			
ROBERT POTTER & PARTNER CHARTERED ARCHITECTS & PROJECT MANAGERS			
7 MILLER ROAD, AYR 49 NEWALL TERRACE, DUMFRIES 110 WEST GEORGE ST, GLASGOW 2 KINGDOM STREET, LONDON		KA7 2AX DG1 1LN G2 1QJ W2 6BD	
		01292 - 261228 01387 - 255509 0141 - 332 9111 0203 - 4795931	
Scale	1:50 @ A1	9408/22	
Date	May 2021		
Drawn By	RK		
Checked By		Revision	



Front Elevation



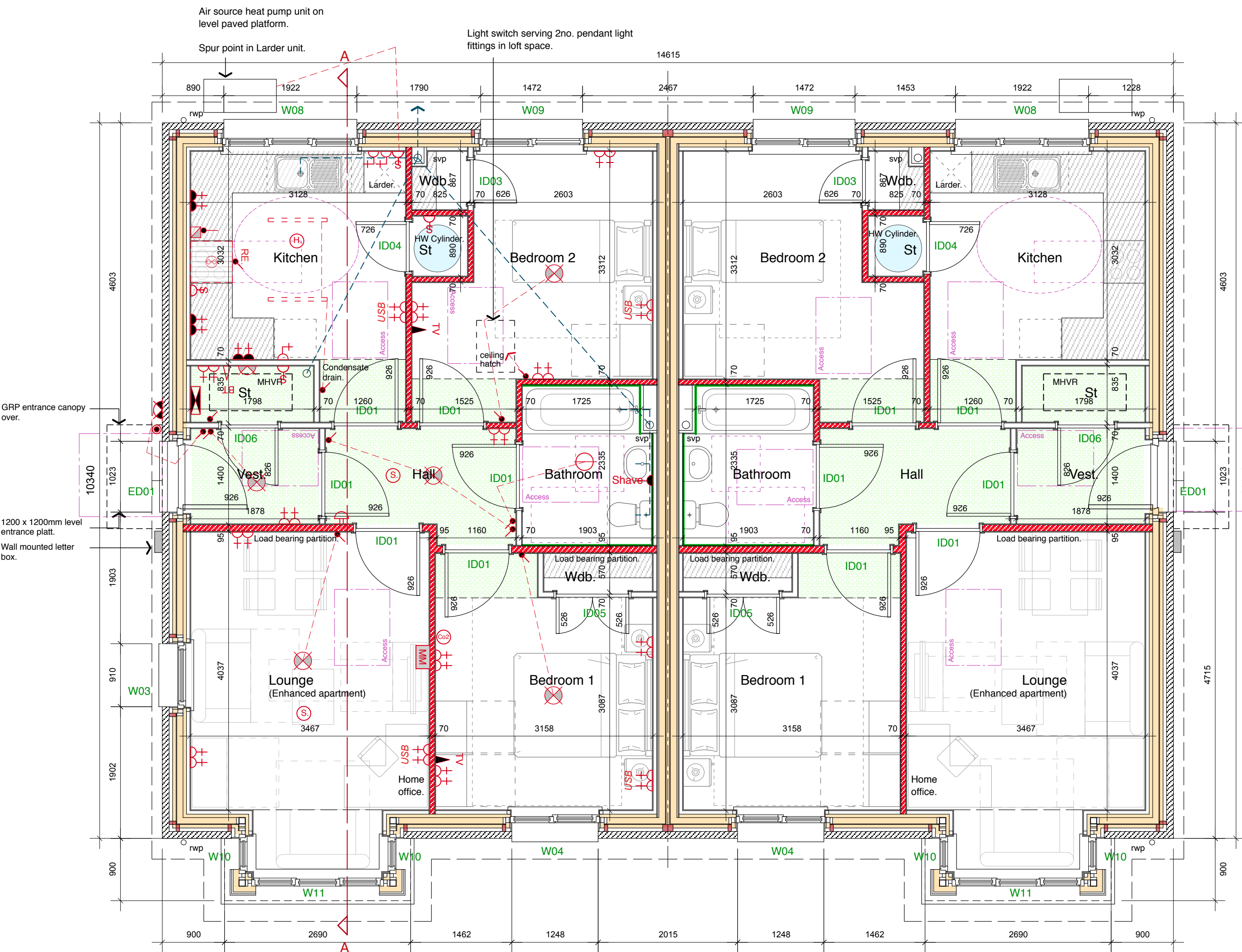
Side Elevation



Side Elevation



Rear Elevation



Ground Floor Plan

Plot 12

Plot 13

1 layer of 15mm Wallboard MR / Wallboard to each face of partition.

Green line denotes 18mm plywood lining to studs / service void behind plasterboard to provide robust fixing.

1 layer of 15mm Wallboard MR / Wallboard to each face of easily demountable partition.

1 layer of 15mm Soundbloc to each face of partition to perimeter of apartments with sound reduction of 40dB Rw.

1 layer of 15mm Wallboard MR / Wallboard to exposed face of pipebox.

Refer to room layouts for locations of additional linings.

MHVR supply ductwork within ceiling service void.

MHVR extract ductwork within ceiling service void.

Green fill denotes lowered ceilings containing MHVR ductwork. Depth of duct void to be determined.

NOTE:
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MHVR duct routes are indicative only.

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LED bulkhead light fitting

Wall mounted luminaire with energy saving bulb

LED floor, fitting energy saving

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Wall mounted luminaire with LED light controlled by photocell

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Two-way light switch.

Pull cord light switch

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Double 13A socket at low level 400mm above FFL.

Single 13A socket at high level 150mm above worktop.

Double 13A socket at high level 150mm above worktop.

Double 13A socket with USB connections at low level 400mm above FFL.

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13 amp socket at low level with high level switch & LED

1 amp 2 gang shaver socket

Cooker hood with recirculating extract fan with replaceable filters.

Telephone outlet

TV outlet

Multimedia outlet point comprising 2no. double sockets, TV, Sat, FM, Data outlets

Shaver socket

Switched spur point at high level 150mm above worktop.

Switched spur point at low level 400mm above FFL.

Cooker control unit.

Wireless door bell push and sounder.

Consumer Unit / Smart meter equipment

Mains wired heat detector with battery back up min 300mm from walls and light fittings.

Mains wired smoke detector with battery back up min 300mm from walls and light fittings and interconnected to existing smoke alarm

Mains wired carbon monoxide detector with battery back up min 300mm from walls and between 1 - 3m of appliance

Mains wired carbon dioxide detector with battery back-up and wall mounted monitor. Detector to be positioned 300mm from walls and light fittings.

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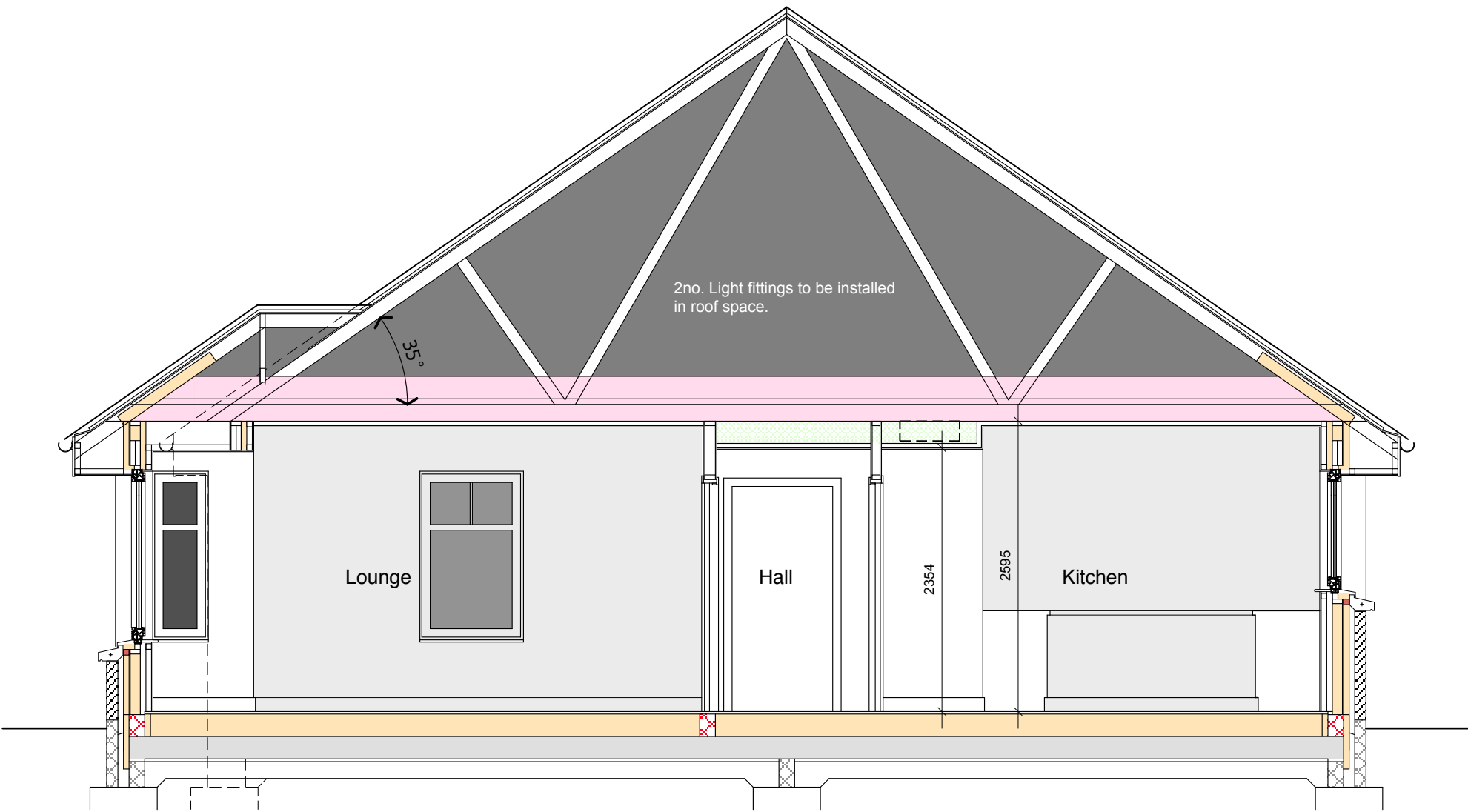
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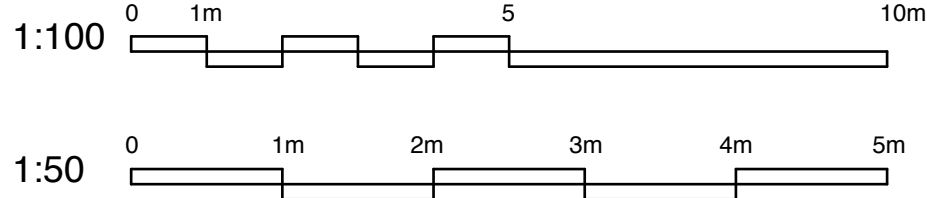
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Section A-A



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Revisions		Date	Initials
A	Gable Lounge window to Plot 13 removed.	22.06.21	RK
B	Sun pipe added to Bathroom, gutter corner posts updated and note added regarding fire suppression system.	06.07.21	RK
C	Internal door reference numbers and gable window reference amended. Sun pipes removed. Kitchen window position amended to allow larger unit to be incorporated. Kitchen layout amended and Vestibule Store increased in length. Wall mounted letter boxes added.	15.07.21	RK
D	External door style and legend updated to include partition linings.	12.08.21	RK
E	Electrical legend updated. Multimedia point added, smoke detector added to Lounge, Shaver point added to Bathroom, spur point added to serve ASHP. Solar PV array added to elevations.	01.11.21	RK
F	Quantity of USB double sockets amended.	10.05.22	RK
G	Load bearing partitions added and ID07 changed to ID01.	12.05.22	RK

Project			
Proposed Residential Development at Station Road, Dalbeattie for Loreburn Housing Association Ltd.			
Drawing Title			
House Type D 3 person / 2 bed amenity bungalow			
ROBERT POTTER & PARTNERS CHARTERED ARCHITECTS & PROJECT MANAGERS			
7 MILLER ROAD, AYR 49 NEWALL TERRACE, DUMFRIES 110 WEST GEORGE ST, GLASGOW 2 KINGDOM STREET, LONDON	KA7 2AX DG1 1LN G2 1JQ W2 6BD	01292 - 261228 01387 - 255509 0141 - 332 9111 0203 - 4795931	
Scale	1:50 / 100 @ A1	9408/24	
Date	May 2021		
Drawn By	RK		
Checked By		Revision	G